

Matthew Behrens – Architect
25 Bedford Road
Sleepy Hollow, NY 10591
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July 21, 2023

VIA HAND DELIVERY

Village of Irvington – Building Department
85 Main Street
Irvington, NY 10533

**RE: New Stone Patio
Caplan Residence
16 North Dutcher Street
Irvington, NY 10533
Parcel ID # 2.50–20-8
Permit Application # 930**

To Whom It May Concern:,

Please find the attached building permit application related to the above referenced property, to be presented at the next Architectural Review Board meeting scheduled for Monday, August 28, 2023.

Attached are the following:

- Signed and Notarized Permit Application
- Permit Application Fee
- (3) sets signed and sealed drawings
- (3) sets existing condition photos, and material photos
- Flash drive containing electronic files of all documents

Please review the attached and let me know if you have any questions or comments.

Sincerely,



Matthew Behrens

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	930	Date:	07/14/2023
Job Location:	16 N DUTCHER ST	Parcel ID:	2.50-20-8
Property Owner:	CAPLAN, ROGER	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
CAPLAN, ROGER	
16 N DUTCHER STREET IRVINGTON 10533	

Architect

Matthew Behrens
25 Bedford Road
Sleepy Hollow, NY 10591
914-391-1689
Matlb728@msn.com

Description of Work

Type of Work:	Landscaping (with increase of coverage or FAR)	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	30000.00	Property Class:	1 FAMILY RES

Description of Work

Remove an existing Open Wood Deck and construct a new stone patio to the rear of the existing residence.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 16 N DUTCHER ST

Parcel Id: 2.50-20-8

AFFIDAVIT OF APPLICANT

I CAPLAN, ROGER being duly sworn, depose and says: That s/he does business as: with offices at: **16 N DUTCHER STREET IRVINGTON 10533** and that s/he is:

- ☒ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☐ The Architect or Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this _____ day of _____ of _____

Notary Public / Commission of Deeds

Applicant's Signature

OWNER'S AUTHORIZATION

I CAPLAN, ROGER as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number 347-678-9673 Owner email address CAPLAN@CLAIRE.ORG

- ☐ Roger Caplan I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 19th day of July of 2023

Stacy French
Notary Public / Commission of Deeds

TCaplan
Applicant's Signature

STACY FRENCH
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01FR6187456
Qualified in WESTCHESTER County
Commission Expires May 19, 2024

Caplan Residence, 16 North Dutcher Street



ARB Photos



Existing Conditions

Caplan Residence, 16 North Dutcher Street

ARB Photos



Neighborhood Context



Flagstone patio and matching garden wall with solid stone cap



Matching flagstone steps with solid, one-piece treads and painted aluminum railings (black)

GENERAL REQUIREMENTS

- A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES & ALL AUTHORITIES HAVING JURISDICTION. IN THE ABSENCE OF OTHER STANDARDS, THE LATEST EDITION OF THE NEW YORK STATE UNIFORM FIRE PREVENTION & BUILDING CODE SHALL GOVERN.
- B. VERIFY ALL DIMENSIONS & CONDITIONS ON THE SITE & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. CLAIMS FOR EXTRA WORK RESULTING FROM FAILURE TO DO SO WILL NOT BE ALLOWED.
- C. CONTR. AND SUB-CONTR.'S SHALL MAINTAIN WORKMEN'S COMPENSATION AND LIABILITY INSURANCE IN ADEQUATE AMOUNTS TO RENDER THE OWNER & HIS AGENTS HARMLESS IN CASE OF ACCIDENTS TO PERSONS OR PROPERTY INVOLVED IN THIS PROJECT. PROVIDE CERTIFICATES OF SAME TO OWNER.
- D. PROTECT FROM DAMAGE ALL STRUCTURES, FINISHES, UTILITIES, EQUIPMENT, VEGETATION, ETC. SCHEDULED TO REMAIN. MAINTAIN STRUCTURAL INTEGRITY OF BUILDING & TEMPORARY SHORING AS REQUIRED. PROVIDE TEMPORARY PROTECTIVE DUST, FROM SECURITY & WEATHER - TIGHT ENCLOSURES WHEN & WHERE REQUIRED.
- E. THE WORK INCLUDES ALL CUTTING & PATCHING & RESTORATION OF AREAS & SURFACES DISTURBED DUE TO THE EXECUTION OF THIS CONTRACT; MATCHING OF KIND, COLOR, QUALITY, TEXTURE, & INSTALLED IN MATCHING PATTERN & COURSING WHERE APPLICABLE.
- F. THE CONTRACTOR SHALL SECURE & PAY FOR ALL PERMITS, AND INSPECTIONS OF LOCAL AUTHORITIES, & OBTAIN FINAL APPROVALS OF, AND/OR CERTIFICATES OF COMPLIANCE FOR ALL WORK UPON COMPLETION, AND/OR DURING THE COURSE OF THE WORK. THE CONTRACTOR SHALL PROVIDE AL LABOR, MATERIALS & EQUIPMENT TO COMPLETE ALL WORK. ALL LABOR, MATERIAL & ASSEMBLIES SHALL BE OF GOOD WORKMANSHIP QUALITY, & SHALL CONFORM TO NATIONAL & LOCAL INDUSTRY STANDARDS. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO THEIR MFR.'S SPECIFICATIONS. THE CONTRACTOR SHALL CONVEY TO THE OWNER ALL APPLICABLE MFR.'S. GUARANTIES AND/OR WARRANTIES ON MATERIALS & EQUIPMENT INSTALLED.
- G. THE BUILDING & GROUNDS SHALL BE KEPT CLEAN & SAFE AT ALL TIMES AND PLACE ALL DEBRIS INTO A RECEPTACLE AT THE END OF EACH DAY. REMOVE ALL DEBRIS FROM THE SITE TO A POINT OF LEGAL DISPOSAL, IN STRICT ACCORDANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS. IF OWNER IS TO OCCUPY THE EXISTING RESIDENCE DURING CONSTRUCTION, MAINTAIN CLEAR ACCESS TO THE SITE AT ALL TIMES.
- J. THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK; OR AFTER ACCEPTANCE BY THE OWNER OF SPECIFICALLY DESIGNATED EQUIPMENT OR PORTIONS OF THE WORK. THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK, OR DESIGNATED PORTION THEREOF, IS THE DATE AGREED UPON BY THE OWNER & THE CONTRACTOR WHEN CONSTRUCTION IS SUFFICIENTLY COMPLETE, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THAT THE OWNER CAN OCCUPY OR UTILIZE WORK, OR DESIGNATED PORTION OF THE WORK, FOR THE USE FOR WHICH IT IS INTENDED. MFR.'S. GUARANTEE/WARRANTEE SHALL BE CONVEYED IN ACCORDANCE WITH 1.F ABOVE. IF ANY OF THE WORK IS FOUND TO BE DEFECTIVE OR NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS DURING THE GUARANTEE/WARRANTEE PERIOD, THE CONTRACTOR SHALL PROMPTLY CORRECT SAME AFTER RECEIPT OF WRITTEN NOTICE FROM THE OWNER TO DO SO UNLESS THE OWNER HAS PREVIOUSLY GIVEN THE CONTRACTOR WRITTEN ACCEPTANCE OF SUCH CONDITION. THE OWNER SHALL GIVE SUCH NOTICE PROMPTLY AFTER DISCOVERY OF THE CONDITION.

CONCRETE

1. ALL CONCRETE FOR FOOTINGS, WALLS, SLABS, ETC., SHALL BE AIR-ENTRAINED STONE CONCRETE OF 4000 PSI TEST AT 28 DAYS. CONFORM TO ASTM C-260 "SPECIFICATIONS FOR AIR-ENTRAINED ADMIXTURES FOR CONCRETE" FOR AIR ENTRAINMENT MIXTURES. READY-MIXED CONCRETE SHALL CONFORM TO ASTM C-94 "SPECIFICATIONS FOR READY-MIXED CONCRETE" QUALITY, CONVEYING AND DEPOSITING OF CONCRETE SHALL CONFORM TO ACI 613 "RECOMMENDED PRACTICE FOR SELECTING PROPORTIONS FOR CONCRETE" AND ACI 614 "RECOMMENDED PRACTICE FOR MEASURING, MIXING & PLACING CONCRETE"

CARPENTRY

- A. ROUGH CARPENTRY:-
1. FRAMING LUMBER: DOUGLAS FIR-LARCH #2 OR BETTER Fb=850 PSI MINIMUM (SINGLE), Fb=850 PSI MINIMUM (REPETITIVE), 19% MAXIMUM MOISTURE CONTENT; AS STRESS-GRADED BY WEST COAST LUMBER INSPECTION BUREAU (WCLIB) & WESTERN WOOD PRODUCTS ASSOCIATION (WWPA).
2. SHEATHING, EXTERIOR WALLS: 1/2" DOUGLAS FIR PLYWOOD CDX EXTERIOR - APA PLYWOOD.
3. ROOF SHEATHING: 3/4" DOUGLAS FIR PLYWOOD, CDX EXTERIOR APA. (DIMENSION AS NOTED ON DWGS)
4. SUB FLOOR: 3/4" DOUGLAS FIR PLYWOOD, C-D INTERIOR
5. UNDERLAYMENT: 5/8" PLYWOOD UNDERLAYMENT GRADE INTERIOR - APA WITH EXTERIOR GLUE
6. BLOCKING, BRIDGING, NAILERS, AND FURRING: #1 COMMON DOUGLAS FIR, SOUTHERN PINE OR HEMLOCK. BRIDGING TO BE 1 1/4" X 3" OR APPROVED EQUAL, AT 8'-0" O.C. MAXIMUM. LEDGER BOARDS, WHERE REQUIRED, SHALL BE SECURELY SET WITH JOISTS NOTCHED TIGHTLY.
7. DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO FRAMING.
8. ALL WOOD SILLS SET ON CONCRETE SHALL BE PRESSURE-TREATED ("WOLMANIZED", "OSMOSE K-33", OR EQUAL).
9. 2 2X10'S OVER ALL OPENINGS UNLESS SHOWN OTHERWISE.
10. PROVIDE SOLID BLOCKING FOR BEARING POINTS OF ALL BEAMS AND COLUMNS. USE SHIMS OF SLATE OR STEEL FOR LEVELING WOOD MEMBERS ON CONCRETE OR MASONRY. BEARING FOR ALL BEAMS SHALL BE FULL WIDTH OF THE BEAM.
11. SOFFITS: 1/2" MEDIUM DENSITY OVERLAP PLYWOOD EXTERIOR GLUE WITH CONTINUOUS ALUMINUM SCREEN VENT.
12. NAILING: ALL NAILING TO BE COMPLETED IN ACCORDANCE WITH NEW YORK STATE RESIDENTIAL CODE
13. GANG-LAM LVL: GANG-LAM LVL'S SHALL BE AS MANUFACTURED BY PDJ COMPONENTS OR APPROVED EQUAL. MEMBERS SHALL BE 2800 PSI MINIMUM IN BENDING, -2.0% GRADE.
14. NOTCHING AND HOLES IN JOISTS AND BEAMS: NOTCHING AND BORED HOLES IN JOISTS AND BEAMS FOR PLUMBING PIPING, HEATING PIPING, ELECTRICAL CONDUITS, ETC. ARE PERMITTED PROVIDING THAT THEY COMPLY WITH THE NEW YORK STATE BUILDING CODE MANUAL - PART 3, PAGE 91. VERIFY SIZES AND LOCATIONS OF EXCESSIVE NOTCHING AND BORED HOLES THAT MAY BE REQUIRED WITH ARCHITECT PRIOR TO CREATING THE PENETRATIONS.
15. ALL MULTIPLE-MEMBER BEAMS OR JOISTS SHALL BE NAILED TOGETHER WITH TWO ROWS OF 16D NAILS @ 12" ON CENTER AT TOP AND BOTTOM.
16. ALL WINDOW & DOOR OPENINGS TO HAVE MINIMUM DBL JACK STUDS IN STRICT ACCORDANCE WITH STATE CODE PERMITS.

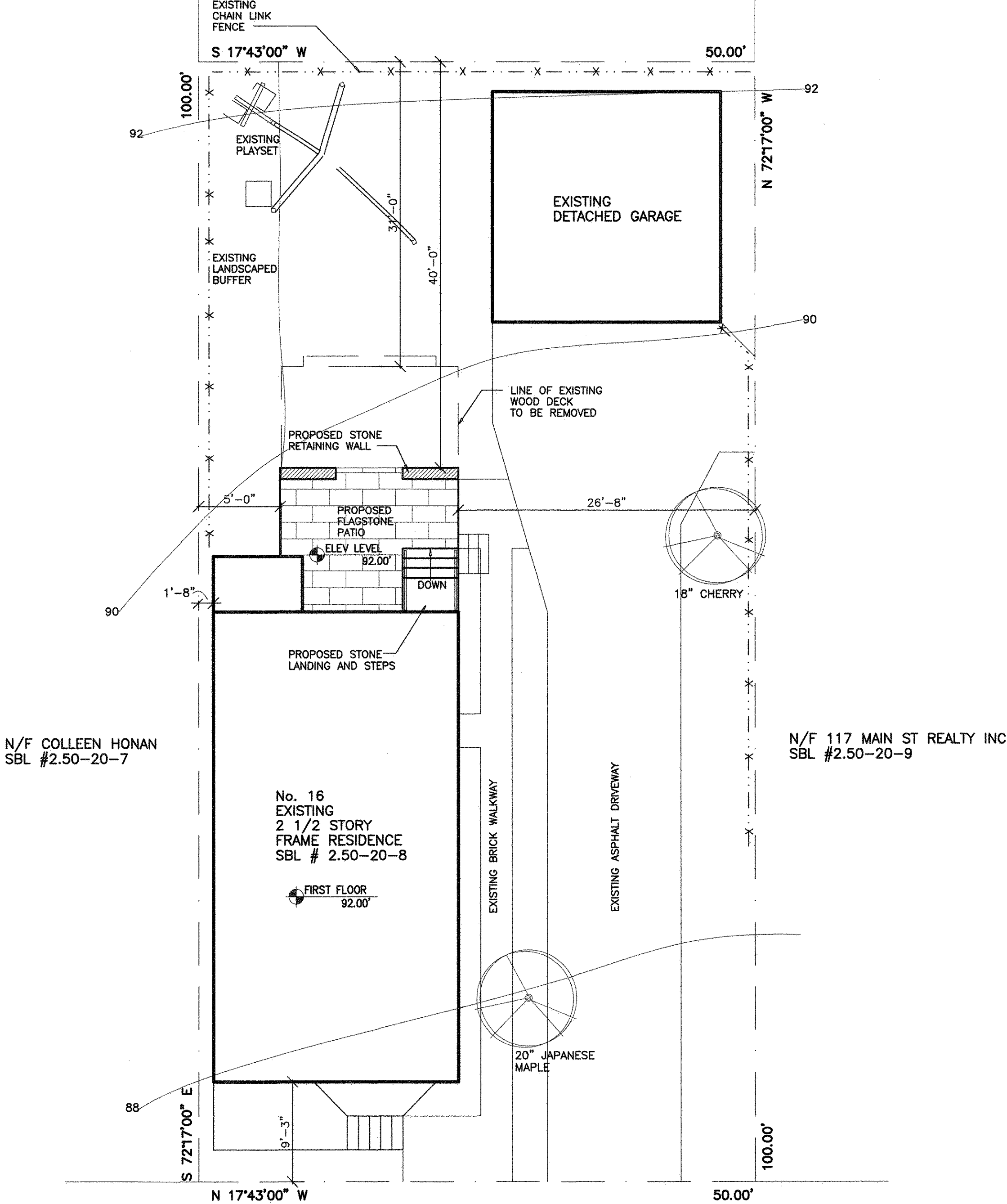
FINISH CARPENTRY

1. INTERIOR AND EXTERIOR TRIM (MOLDINGS, CASINGS, CORNICES, BASES, ETC.), OTHER THAN STAINED OR PREFINISHED, SHALL BE NO. 1 KILN DRIED WHITE PENDEROSA PINE. MATCH EXISTING PROFILES OR INSTALL NEW AS NOTED ON DWGS.
2. SURFACES OF INTERIOR PARTITIONS AND INTERIOR OF EXTERIOR WALLS AND CEILINGS SHALL BE 1/2" GYPSUM BOARD (TYPE X, FIRE CODE, WHERE INDICATED ON THE DRAWINGS AND REQUIRED BY CODE; SCREWED WITH 1 1/4" TYPE W DRYWALL SCREWS PER MANUFACTURER'S RECOMMENDATIONS, TAPED 3 COATS AND SANDED, READY FOR FINAL FINISH. PROVIDE METAL CORNER BEADS AND OTHER DRYWALL ACCESSORIES AS REQ'D.

N/F EVE PRIME
SBL #2.50-20-20

N/F PHILIP GLICKMAN
SBL #2.50-20-19

N/F JOHN PISANI
SBL #2.50-20-17

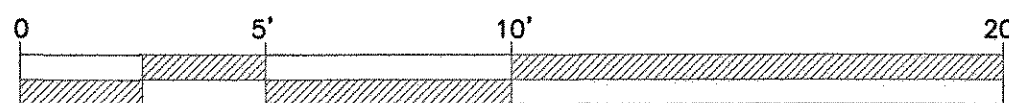


NORTH DUTCHER STREET

S I T E P L A N

SCALE : 1/8" = 1'-0"

ALL INFORMATION FOR THIS SITE PLAN WAS TAKEN FROM A SURVEY DATED AUGUST 28, 1995 AS PREPARED BY WARD CARPENTER - ENGINEERS INC. ACCURACY IS LIMITED TO THE DATA PROVIDED THEREIN



GRAPHIC SCALE

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA
TABLE R301.2 (1)

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMPERATURE	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			
45 PSF	90 - 100 MPH	C	SEVERE	42"	MODERATE TO HEAVY	SLIGHT TO MODERATE	7 F	YES	NO

ALL PROPOSED WORK IS IN COMPLIANCE WITH NEW YORK STATE RESIDENTIAL CODE 2015 AND NYS SUPPLEMENT 2017

ZONING COMPLIANCE SUMMARY

DESCRIPTION	REQUIRED	EXISTING	PROPOSED	TOTAL	COMMENTS
ZONING DISTRICT	2F				
AREA OF LOT	5,000 SF	5,000 SF	N/A	N/A	
FRONT YARD SETBACK	30'-0"	9'-3"	no change	N/A	EXISTING NON-CONFORMANCE UNAFFECTED
REAR YARD SETBACK	30'-0"	31'-0"	40'-0"	N/A	
SIDE YARD SETBACK 1	10'-0"	1'-8"	no change	N/A	EXISTING NON-CONFORMANCE UNAFFECTED
SIDE YARD SETBACK 2	10'-0"	26'-8"	no change	N/A	
LOT WIDTH	50'-0"	50'-0"	N/A	N/A	
LOT DEPTH	100'-0"	100'-0"	N/A	N/A	
LOT COVERAGE	24% 1,200 SF	42% 2,092 SF	(-163) SF	39% 1,929 SF	NET REDUCTION IN EXISTING NON-CONFORMING COVERAGE

COVERAGE CALCULATIONS

LOT COVERAGE MAX ALLOWABLE = 24% OF (5,000 SF) = 1,200 SF			
DESCRIPTION	EXISTING	PROPOSED	TOTAL
PRINCIPAL BUILDING COVERAGE	1,070 SQ FT	0 SQ FT	1,070 SQ FT
DETACHED GARAGE	420 SQ FT	0 SQ FT	420 SQ FT
WALKWAYS	230 SQ FT	0 SQ FT	230 SQ FT
PLAY SET	9 SQ FT	0 SQ FT	9 SQ FT
EXISTING WOOD DECK (TO BE REMOVED)	363 SQ FT	(-363) SQ FT	(-363) SQ FT
PROPOSED PATIO	0 SQ FT	200 SQ FT	200 SQ FT
TOTAL COVERAGE	2,092 SQ FT	(-163) SQ FT	1,929 SQ FT

SITE PLAN NOTES:
CONTOUR INFORMATION WAS TAKEN FROM WESTCHESTER COUNTY GIS MAP

NO TREES WITH A DIAMETER GREATER THAN 8" ARE LOCATED NEAR THE LIMITS OF CONSTRUCTION AND NO TREES WILL BE DISTURBED BY THE PROPOSED WORK

EXCAVATION IS LIMITED TO THE PROPOSED DECK FOOTINGS

NO UTILITIES WILL BE DISTURBED BY THE PROPOSED WORK

THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTRATION AND EROSION OF DISTURBED SOILS

AS-BUILT DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY

DRAWING LIST

- A-0-1 SITE PLAN and ZONING DATA
A-0-2 SITE PLAN NOTES and DETAILS
A-1 PATIO PLANS AND ELEVATIONS


CODE COMPLIANCE NOTE:

ENTIRE RESIDENCE IS EQUIPPED WITH EXISTING SMOKE / CARBON MONOXIDE DETECTION SYSTEM IN COMPLIANCE WITH THE NEW YORK STATE RESIDENTIAL CODE. ANY MODIFICATIONS TO THE SYSTEM MUST MEET THE REQUIREMENTS OF THE CODE

TO THE BEST OF MY KNOWLEDGE, BELIEF and PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS & SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE STRETCH ENERGY CONSTRUCTION CODE CURRENTLY IN EFFECT

APPLICABLE CODES AND PROVISIONS:
* 2020 NEW YORK STATE BUILDING CODE and NOVEMBER 2019 ADDITION
* 2020 NEW YORK STATE STRETCH ENERGY CODE
* NATIONAL ELECTRICAL CODE NFPA 70 2014 EDITION
* NEW YORK STATE RESIDENTIAL PLUMBING CODE

EXISTING AND PROPOSED CONSTRUCTION TYPE: TYPE 5a
OCCUPANCY CLASSIFICATION: ONE FAMILY RESIDENCE

			
NO.	DATE	REMARKS	

NEW PATIO:

CAPLAN RESIDENCE

16 NORTH DUTCHER STREET

IRVINGTON, NY

SITE PLAN
SITE & ZONING DATA
GENERAL NOTES

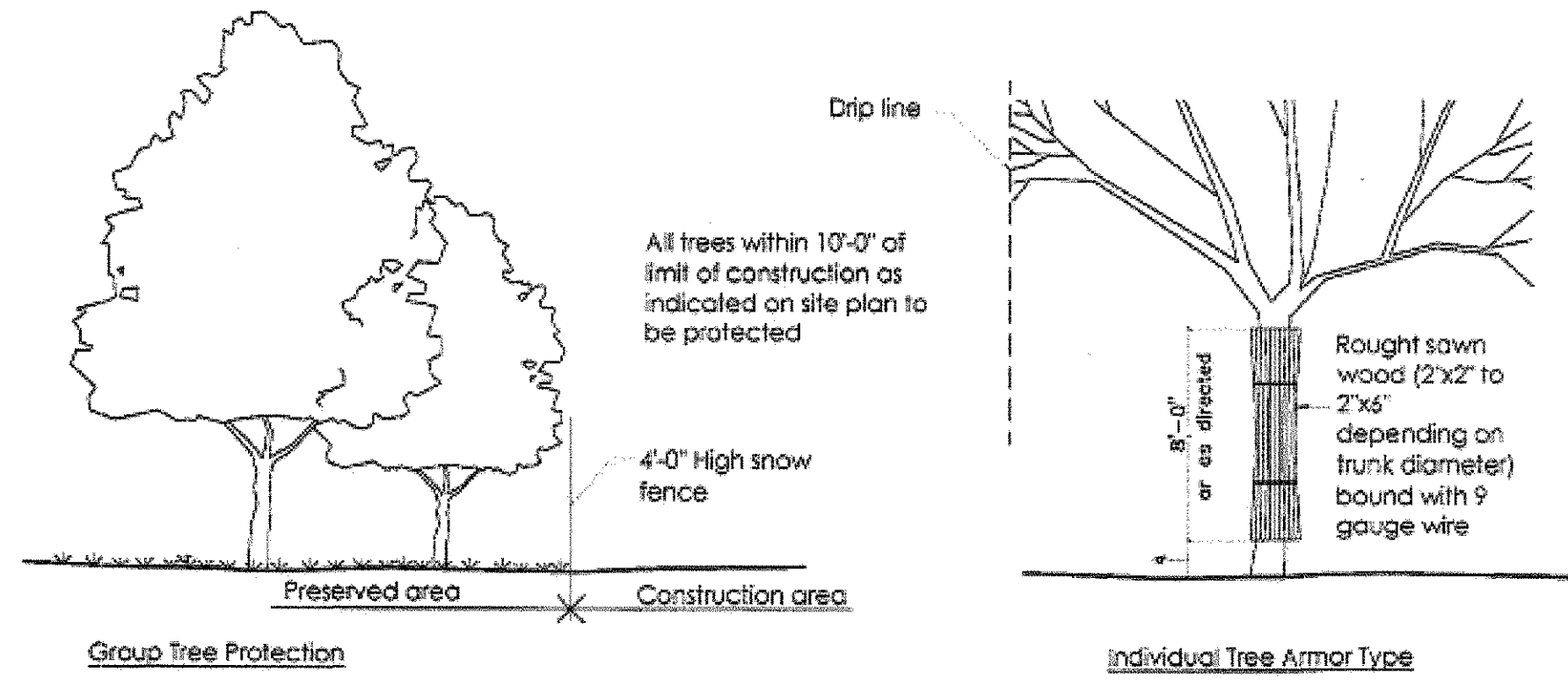
PROJ. NO. 420

DATE : NOV 21, 2022

SCALE : AS NOTED

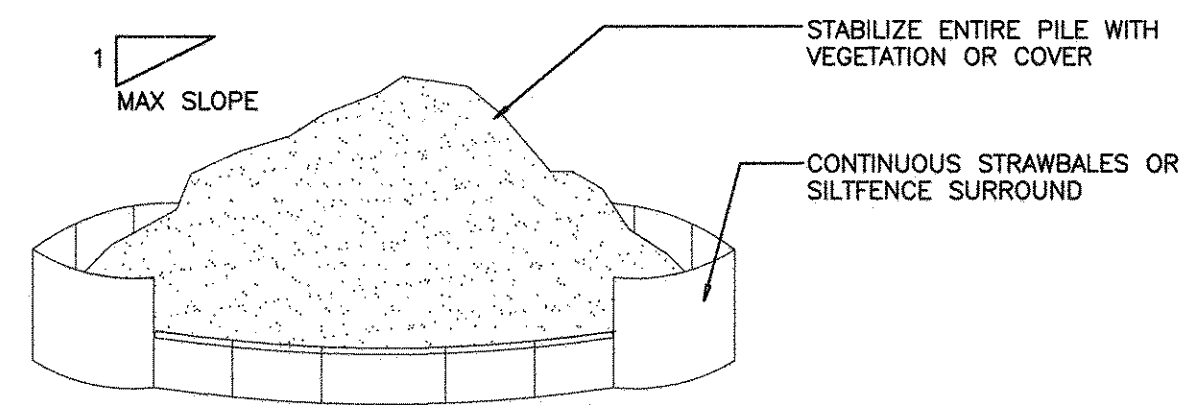
MATTHEW BEHRENS
ARCHITECT
25 BEDFORD ROAD
SLEEPY HOLLOW, NY 10591
914-391-1689

A-0-1



TREE PROTECTION DETAIL

TREE PROTECTION MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITY



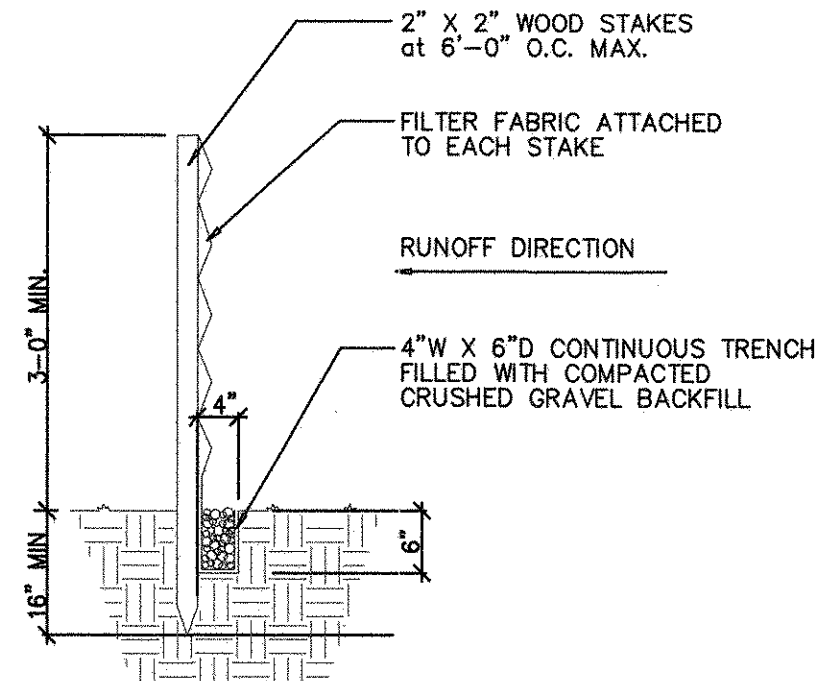
SOIL STOCKPILING

AREAS CHOSEN FOR STOCKPILING MUST BE DRY AND STABLE

MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2

UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCE OR STRAW BALES - THEN STABILIZED WITH VEGETATION OR COVER

SEE SILTFENCE DETAILS ABOVE



SILT FENCE DETAIL

SILT FENCE CONSTRUCTION NOTES:

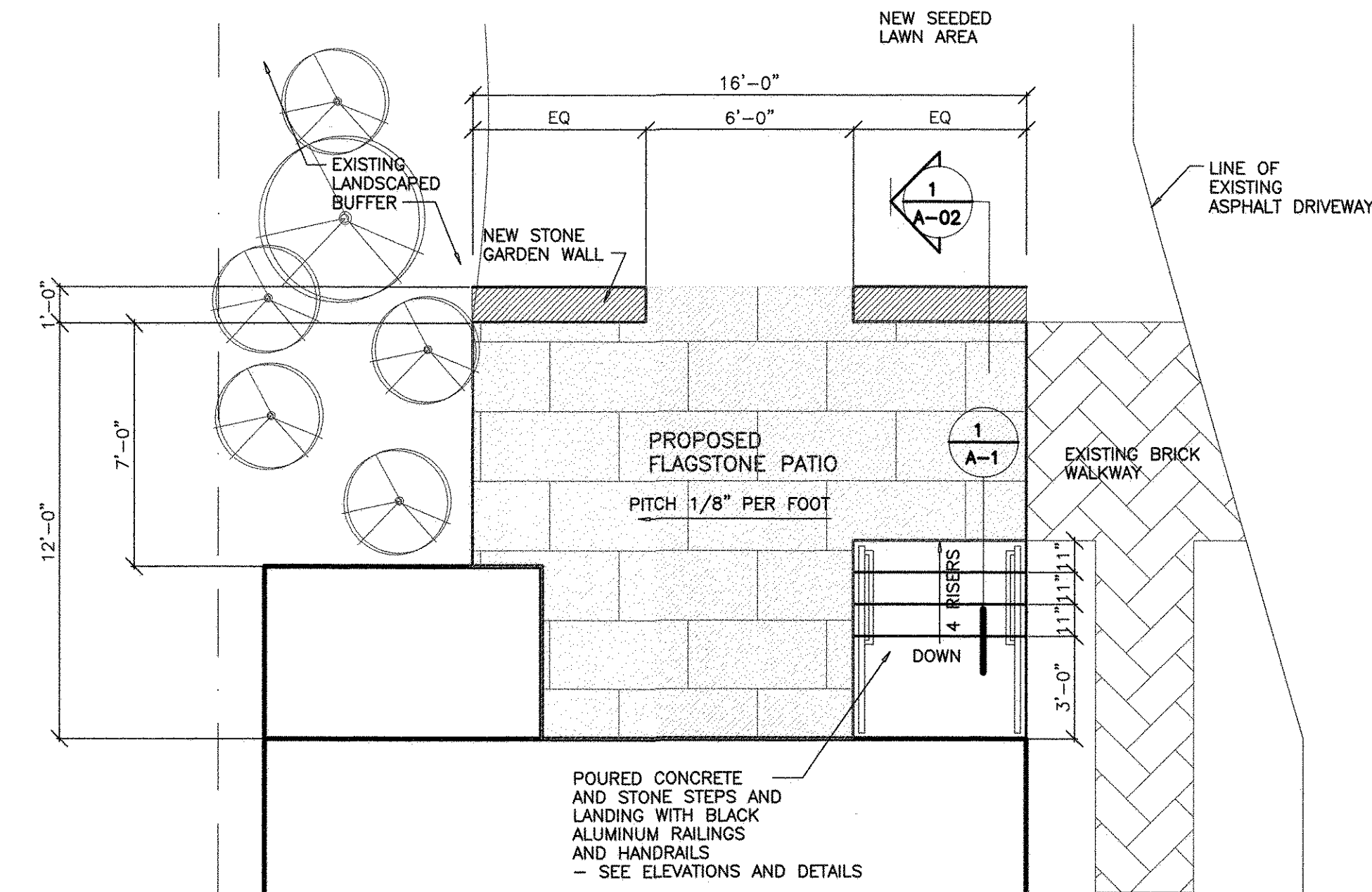
EXCAVATE A 4" WIDE X 6" DEEP TRENCH ALONG THE LOWER PERIMETER OF THE SITE AS INDICATED ON THE SITE PLAN

UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) SIDE OF THE TRENCH

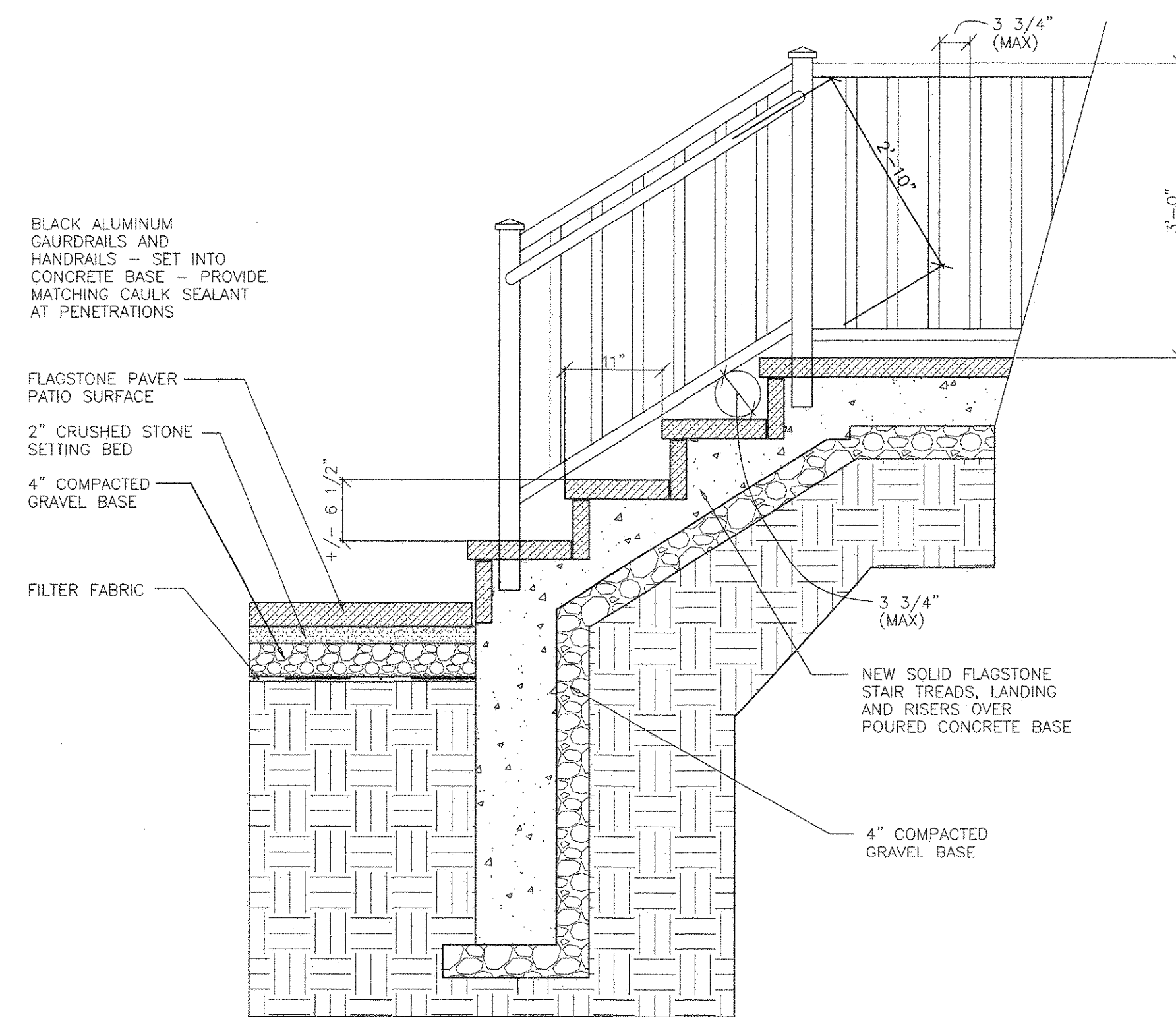
DRIVE THE POSTS INTO THE GROUND UNTIL THE NETTING IS APPROX. 2 INCHES FROM THE BOTTOM OF THE TRENCH

LAY THE TOE-IN FLAP OF THE SILT FABRIC INTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL.

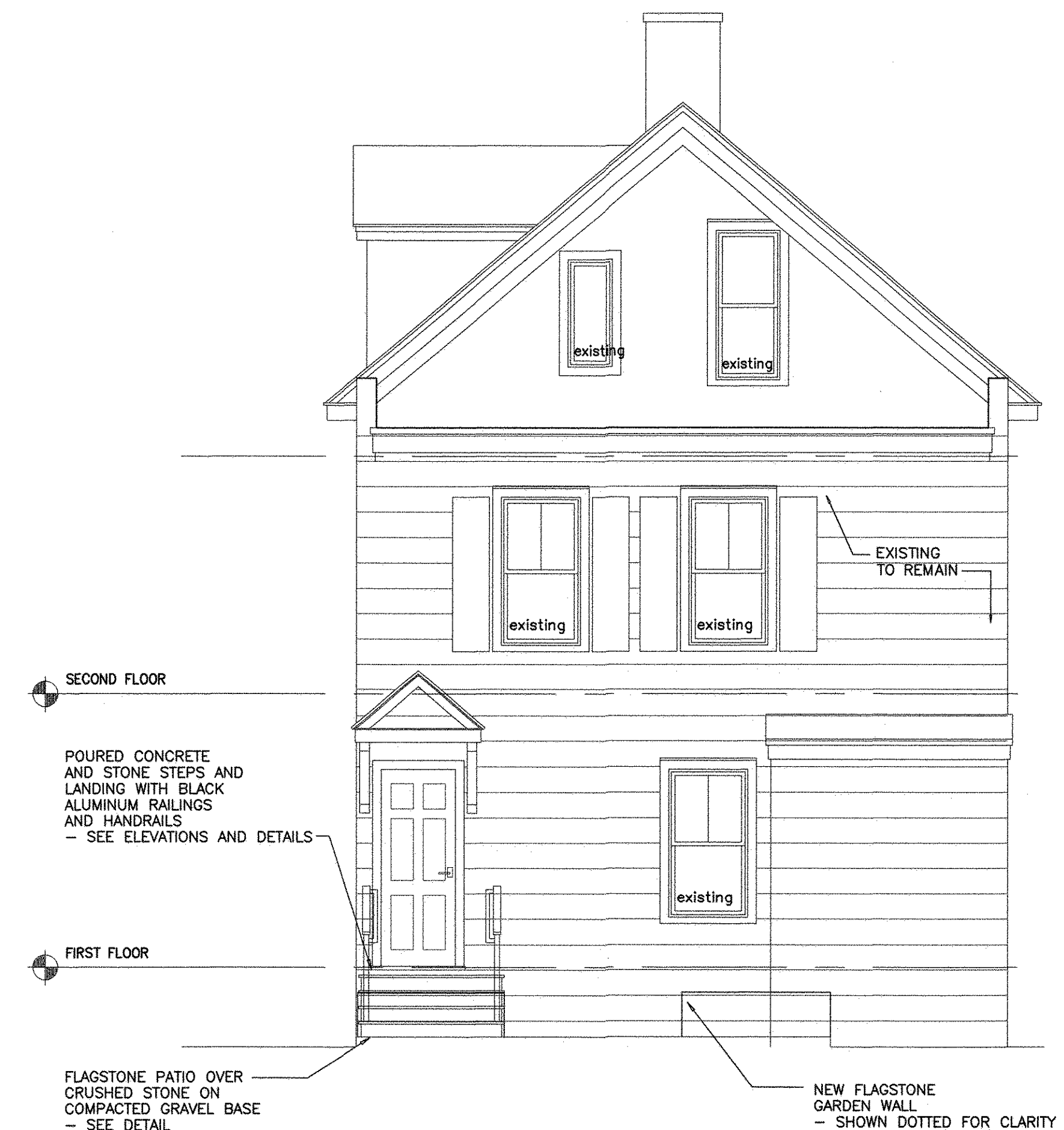




PATIO CONSTRUCTION PLAN
SCALE : 1/4" = 1'-0"



1 A-1 STAIR SECTION / DETAIL
SCALE : 3/4" = 1'-0"



REAR (EAST) ELEVATION
SCALE : 1/4" = 1'-0"

NO.	DATE	REMARKS	

NEW PATIO:
CAPLAN RESIDENCE
16 NORTH DUTCHER STREET IRVINGTON, NY

PATIO PLAN
ELEVATIONS and DETAILS

MATTHEW BEHRENS
ARCHITECT
25 BEDFORD ROAD
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PROJ. NO. 420
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SCALE : AS NOTED

A-1